

Accessory Dwelling Units Design Program 2024

Project Description

CVRPC used \$15,000 of ACCD Housing Navigation funds to contract with Osso Studio of Waterbury for consultant services to help residents develop conceptual plans to convert existing structures into Accessory Dwelling Units (ADUs). CVRPC is seeking the services of an architect, plumber, and electrician to conduct site visits with local residents to assess budget and conceptual designs for an ADU conversion. The deliverable of Homeowner ADU Conceptual Plans based on homeowner goals and technical input for ADU modification of existing Structures was the deliverable of this contract. The project started with 7 projects and ended with 6 projects plans completed.

What is an ADU?

All homeowners in Vermont (outside of certain flood areas) can get a zoning permit to build what's called an "Accessory Dwelling Unit," or ADU. ADUs can be built inside existing structures, built onto existing structures as additions, or built from scratch as freestanding structures. ADUs can help address the acute need for smaller and more affordable homes in Vermont and can help families navigate changing housing and financial needs. ADUs can be a solution for workforce housing, aging in place, and getting a foothold in Vermont communities. Recent legislation has made developing ADUs more accessible to more homeowners in Vermont.

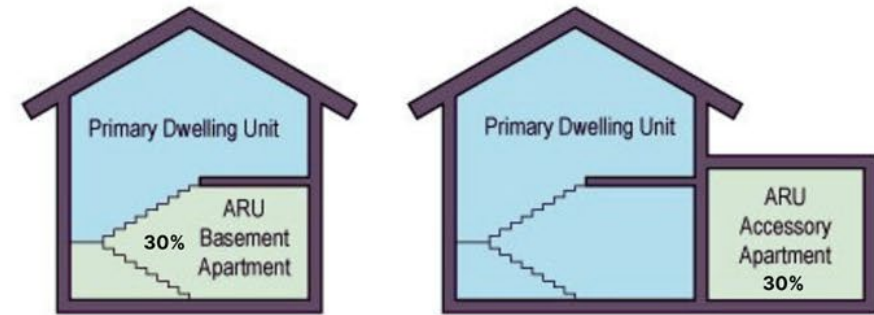


Facilities and provisions for sleeping, food preparation, and sanitation



Owner must live on lot, may occupy either accessory or primary dwelling unit

Small, size not more than 30% of primary dwelling or 900 square feet, whichever is greater



Project 1 – Basement ADU

1970s Ranch with finished basement,
city water/sewer

Needs;

- Separate electrical panel
- Separation wall from main house
- Window upgrade for secondary egress
- Fire safety upgrades, and
- Sequestration of mechanical room from basement unit



LEGEND	
	1-HOUR FIRE BARRIER
	2-HOUR FIRE BARRIER
	EXIT
	EXIT

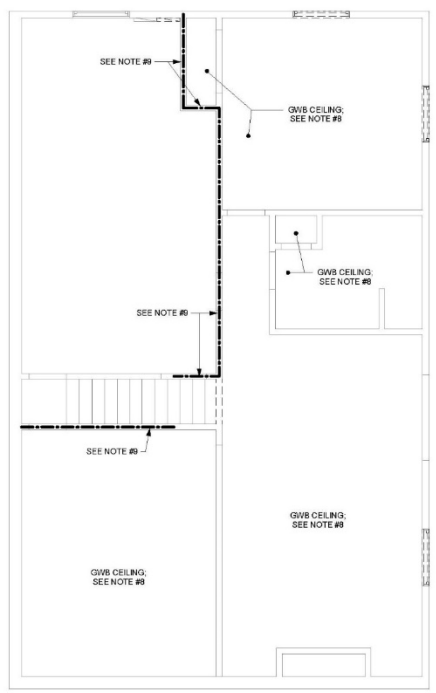
GENERAL NOTES - DEMOLITION

- REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED. SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
- WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
- DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
- CONTRACTOR TO DETERMINE THE THICKNESS OF THE GYPSUM WALL BOARD CEILING. 1 HR RATING IS REQUIRED IN CEILING/FLOOR ASSEMBLY BETWEEN UNITS.
- REMOVE WALL FINISH MATERIAL AS REQUIRED TO ENSURE 1 HR RATE ASSEMBLY CAN BE OBTAINED AND CONTINUOUS.

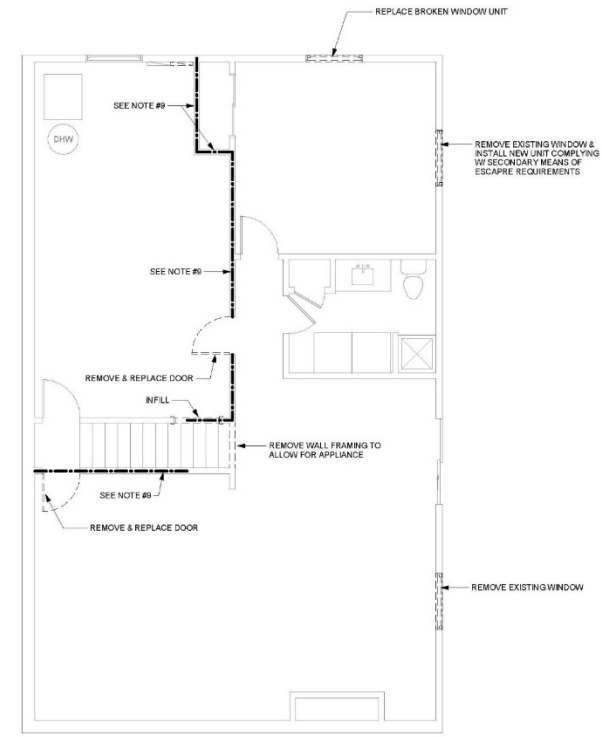
KEYNOTES

DEMOLITION KEY

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING FLOOR/CEILING TO BE DEMOLISHED



2 BASEMENT RCP
Scale: 1/4" = 1'-0"



1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"



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SCHEMATIC
DESIGN

DEMOLITION
PLANS

D1



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SCHEMATIC DESIGN

PLANS

A1

CEILING FIXTURE KEY	
⊙ LF1	RECESSED/SPOT LIGHT FIXTURE
▭ LF1	STRIP/LINEAR LIGHT FIXTURE
▭ LF1	LINEAR FIXTURE CONCEALED FROM VIEW
⊙ LF1	WALL MOUNT LIGHT FIXTURE
⊠	EXHAUST FAN
⊠	ACCESS PANEL
⊙	SMOKE ALARM
⊙	OCCUPANCY SENSOR

CEILING MATERIAL KEY	
▨	GYPSUM WALL BOARD
▭	WOOD BOARD CEILING

LEGEND	
---	1-HOUR FIRE BARRIER
----	2-HOUR FIRE BARRIER
▲	EXTERIOR EXIT
↑	INTERIOR EXIT

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A8.0 FOR MORE DIMENSIONAL INFORMATION.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR AND ELECTRIC RANGE.
- INSTALL NEW LVP FINISH FLOORING THROUGHOUT THE ADU.
- REPAINT EXISTING SHEETROCK TO REMAIN WITH (1) COAT OF PRIMER, NEW SHEETROCK TO RECEIVE (1) COAT PRIMER AND (2) COATS OF PAINT.
- EXISTING WINDOWS TO REMAIN UNLESS DAMAGED.
- EXISTING DOORS TO REMAIN UNLESS DAMAGED.
- MAINTAIN 1HR FIRE RATED PARTITION BETWEEN UNITS FOR WALLS AND CEILING, FIRE CAULK PENETRATIONS, CRACKS ETC. AS REQUIRED TO MAINTAIN CONTINUITY.
- ENSURE EXISTING BEDROOM WINDOW MEETS SECONDARY MEANS OF ESCAPE REQUIREMENTS, MAX SILL HEIGHT OF 44" ABOVE FFE, ETC.
- SCOPE OF WORK INCLUDES ADDING A NEW LAUNDRY AREA ON THE UPPER FLOOR IN EXISTING BEDROOM DIRECTLY ABOVE EXISTING BASEMENT LAUNDRY AREA. SCOPE INCLUDES CONSTRUCTING AND SHEETROCKING AN ENCLOSURE AS WELL AS ASSOCIATE PLUMBING/VENTING, ETC.
- SCOPE OF WORK INCLUDES A STONE DUST PATH WITH METAL EDGING FROM THE ADU PARKING SPOT IN THE EXISTING DRIVEWAY, AROUND THE SOUTH OF THE GARAGE, TO THE NEW ENTRY DOOR ON THE LOWER LEVEL. CAST IN PLACE CONCRETE STEPS WILL BE NEEDED TO NAVIGATE THE GRADE CHANGE ALONG THE GARAGE. PATH SHOULD BE TIGHT AGAINST THE GARAGE SO STAIR HAND RAIL CAN BE MOUNTED DIRECTLY TO THE SIDE OF THE GARAGE.

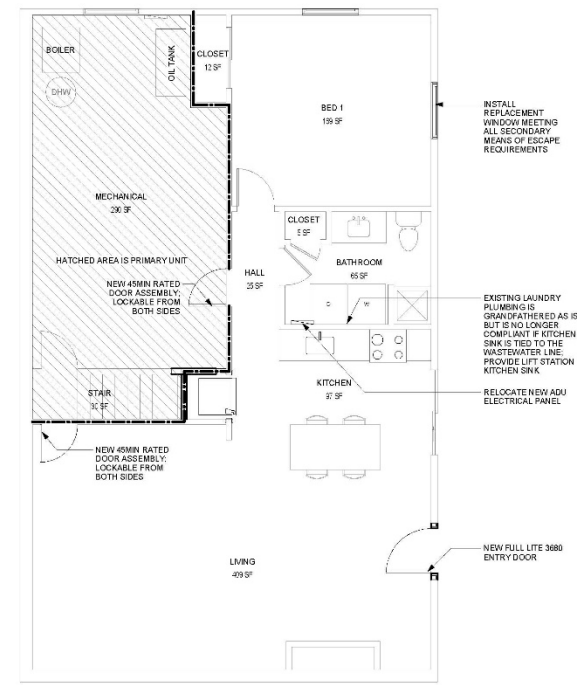
KEYNOTES

SCOPE OF WORK: ELECTRICAL

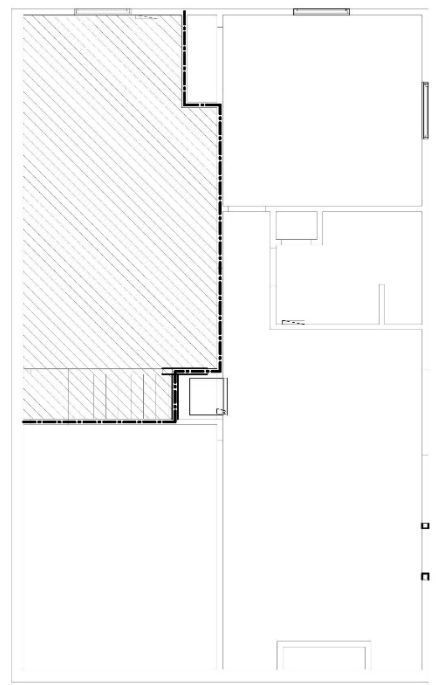
- MOVE AND REPLACE BREAKER PANEL FOR SECOND FLOOR MAIN UNIT TO ACCOMMODATE BREAKER ACCESS FOR RESIDENTS. NEW PANEL TO BE LOCATED IN THE EXISTING LAUNDRY ROOM AND EXISTING CIRCUITS RE-ROUTED.
- REPLACE UNIT 2 BREAKER PANEL AT EXISTING LOCATION.
- REWIRE UNIT 2 AS NEEDED FOR NEW KITCHEN, CHANGES TO LAYOUT, SMOKE DETECTION, RECEPTACLES AND LIGHTING TO CODE.
- MOVE EXISTING LAUNDRY OUTLETS OUT OF CABINETS TO MEET CODE.
- ALTERNATE: UPGRADE METER SOCKET TO 2X100 METER PACK FOR SEPARATE METERING.

SCOPE OF WORK: PLUMBING / MECHANICAL

- ADD LAUNDRY TO THE HOUSE ABOVE PER GENERAL NOTE #1.
- PLUMB NEW KITCHEN SINK W/ NEW LIFT STATION.
- CREATE A NEW SEPARATE HEAT ZONE AND ADJUST BOILER CONTROLS TO ALLOW FOR INDIVIDUAL THERMOSTAT AND CONTROL.



1 BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"



2 BASEMENT RCP
Scale: 1/4" = 1'-0"

Budget – Project 1, Basement ADU

The cost provided is not a bid number, but rather a preliminary budgeting number intended to give you an idea of the order of magnitude of the cost of the project.

- Electrical Work (est. by Summit Electric) \$10,500
- Plumbing/Mechanical Work (est. by Moorbys) \$14,000
- General Construction Work (est. by Slide Brook Builders) \$50,346

Total = \$74,846



Project 2 – Garage ADU (new build)

Existing Garage, city water/sewer

Needs;

- New build on existing garage footprint
- New electrical service and plumbing
- Tie in to city water/wastewater



CEILING FIXTURE KEY	
⊕ LF1	RECESSED SPOT LIGHT FIXTURE
— LF1	STRIP LINEAR LIGHT FIXTURE
— LF1	LINEAR FIXTURE CONCEALED FROM VIEW
⊕ LF1	WALL MOUNT LIGHT FIXTURE
⊕	EXHAUST FAN
□	ACCESS PANEL
⊕	SMOKE ALARM
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CEILING MATERIAL KEY	
□	GYPSUM WALL BOARD
□	WOOD BOARD CEILING

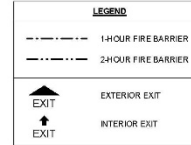
WINDOW SCHEDULE (CW)			
MARK	WIDTH	HEIGHT	NOTES
A1	2'-6"	2'-6"	
A2	2'-6"	4'-2"	
A3	2'-6"	3'-6"	
A4	2'-6"	5'-6"	
A5	3'-0"	5'-6"	
A6	6'-0"	4'-0"	

SCOPE OF WORK: PLUMBING / MECHANICAL

- INSTALL COMPLETE DUCTED MINI-SPLIT SYSTEM HUNG IN MECH ROOM WITH INSULATED LINE SETS. 1 TO 1 SINGLE ZONE SYSTEM. DUCT SUPPLY TO BEDROOM, BATHROOM, AND LIVING. RETURN FROM MECH ROOM. BASIS OF DESIGN: MITSUBISHI SEZ MODELS.
- ADD 2" LONG BACK UP ELECTRIC BASEBOARD STRIPS IN BATHROOM, BEDROOM, AND LIVING AREA. INSTALL WITH OUTDOOR TEMPERATURE SENSOR CONTROL. SETTINGS SO THEY DON'T TURN ON UNLESS THE OUTDOOR TEMPERATURE IS BELOW 40 DEGREES F.
- INSTALL COMPLETE, DUCTED, BALANCED ENERGY RECOVERY VENTILATION SYSTEM WITH EXTERIOR PENETRATIONS FOR SUPPLY AND EXHAUST. HANG UNIT IN MECH ROOM. SUPPLY TO BEDROOM AND LIVING ROOM. EXHAUST FROM BATHROOM WITH BOOST CONTROL FEATURE.
- PROVIDE NEW MUNICIPAL WATER AND WASTEWATER CONNECTION OUT TO ROAD. WORK WILL REQUIRE CUTTING UP THE DRIVEWAY. REPAIR ASPHALT AS REQ'D.
- ROUGH-IN AND TRIM KITCHEN, BATHROOM, AND LAUNDRY.
- PROVIDE 50GA HEAT PUMP WATER HEATER.
- INSTALL (2) FLOOR DRAINS IN GARAGE SLAB AND DAYLIGHT.

SCOPE OF WORK: ELECTRICAL

- INSTALL NEW OVERHEAD 200AMP SERVICE ON STREET SIDE.
- INSTALL NEW BREAKER PANEL INSIDE NEAR METER SOCKET.
- INSTALL NEW WIRING FOR STUDIO UNIT AND GARAGE. INCLUDES LIGHTING AND RECEPTACLES TO COOL, SMOKE DETECTION, RANGE, LAUNDRY WATER HEATER, HEAT PUMP VENTILATION, AND ELECTRIC BASEBOARD. PROVIDE DEDICATED BREAKER SPACE FOR FUTURE ELECTRIC VEHICLE CHARGING.
- ALL LIGHTING SHALL BE LED AND COMPLY WITH ZONING REQUIREMENTS AS APPLICABLE. PROVIDE WALL MOUNTED VANITY LIGHT ABOVE BATHROOM SINK AND EXTERIOR WALL SCONES AS SHOWN ON ELEVATIONS/PLANS. ALL OTHER LIGHTING TO BE RECESSED TYPE.



GENERAL NOTES

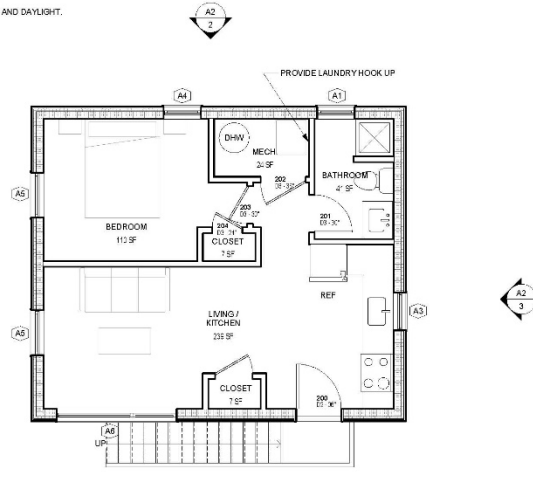
- DEMOLITION WORK ENTAILS REMOVING EXISTING GARAGE BUILDING IN ITS ENTIRETY. DEMO CONTRACTOR RESPONSIBLE FOR REMOVING ALL MATERIAL, CHECKING UTILITY LOCATIONS AND TURNING THEM OFF PRIOR TO BEGINNING WORK, AND REPAIRING ANY DAMAGE TO THE SITE OR BUILDINGS CAUSED BY DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A8.0 FOR MORE DIMENSIONAL INFORMATION.
- 8" CONCRETE STEM WALLS W/ 2" RIGID INSULATION ON INTERIOR SIDE OF WALL TO EXTEND 6" BELOW GRADE ONTO CONCRETE FOOTINGS. INSTALL AND DAYLIGHT FOOTING DRAIN AROUND PERIMETER. POUR NEW 4" CONCRETE SLAB OUTSIDE OF 8" CRUSHED STONE MIN. COORDINATE WORK WITH FLOOR DRAINS IN CONCRETE SLAB.
- ALL EXTERIOR WALLS TO BE 2X8 FRAMING W/ 1/2" SHEATHING & 2" POLYISO RIGID INSULATION. ADD 1/2" STRAPPING AND WOOD SOINGS PER ELEVATIONS. FILL CAVITY WITH BATT INSULATION.
- PROVIDE 12" DEEP CLEAR SPAN FLOOR TRUSSES @ 16" OC W/ 3/4" SUBFLOORING.
- PROVIDE SINGLE PITCH, RAISED HELL ROOF TRUSSES WITH 4" TOP CHORD OVERHANGS ON BOTH ENDS W/ 5/8" ROOF SHEATHING, UNDERLAYMENT, AND COMPOSITE ASPHALT SHINGLE ROOFING. BLOW LOOSE CELLULOSE INSULATION EQUIVALENT TO R30 ONTO CEILING.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR AND ELECTRIC RANGE.
- INSTALL NEW LVP FLOORING THROUGHOUT THE A2, EXCEPT THE BATHROOM WHICH SHOULD GET SHEET LINOLEUM. GARAGE SLAB TO REMAIN CONCRETE.
- GARAGE AND UPSTAIRS INTERIOR FINISH WILL BE 1/2" GWB THROUGHOUT W/ (1) COAT PRIMER AND (2) COATS OF PAINT.
- NEW WINDOWS WILL BE FIBER GLASS, ENERGY STAR RATED FOR OUR CLIMATE, DOUBLE GLAZED LOW E W/ ARGON GLASS, CASEMENT/TAWNING TYPE WINDOWS.
- NEW DOORS WILL BE THERMATRU FIBERGLASS SHAKER STYLE HALF OR FULL LITE DOORS (PER ELEVATIONS) W/ GLAZING TO MATCH WINDOWS.
- GARAGE DOORS TO BE INSULATED STEEL FLUSH PANEL TYPE, 4 SECTION, 8' X 7' W/ AUTOMATIC OPENERS.
- PROVIDE ATTIC ACCESS HATCH, INSULATED TO R30.
- PLYWOOD BOX CABINETS, SHAKER STYLE DOORS, MAPLE.
- PLUM COUNTERTOPS W/ INTEGRAL BACKSPLASH.
- MAINTAIN 1HR FIRE RATED FLOOR ASSEMBLY BETWEEN GARAGE AND UPSTAIRS UNIT BY USING (2) LAYERS OF 5/8" TYPE X GWB.
- EXTERIOR STAIRS TO BE 4" DIMENSIONAL LUMBER AND 5/4 DECKING BOARDS FOR TREADS, RISERS, AND LANDING. CABLE HANDGUARDRAIL W/ PT 2x4 TOP RAIL. LANDING STRUCTURE TO BE CANTILEVERED FLOOR STRUCTURE TO AVOID POSTS AND PIERS.
- COORDINATE SITE WORK WITH NEW MUNICIPAL WATER AND WASTEWATER SERVICES. REPAIR DRIVEWAY AND SURROUNDING LANDSCAPE AS REQUIRED.

KEYNOTES

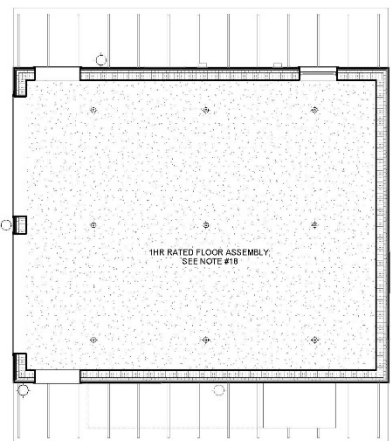
- 03.1 CONCRETE LANDING PAD
- 08.1 ATTIC ACCESS; INSULATED TO R50.



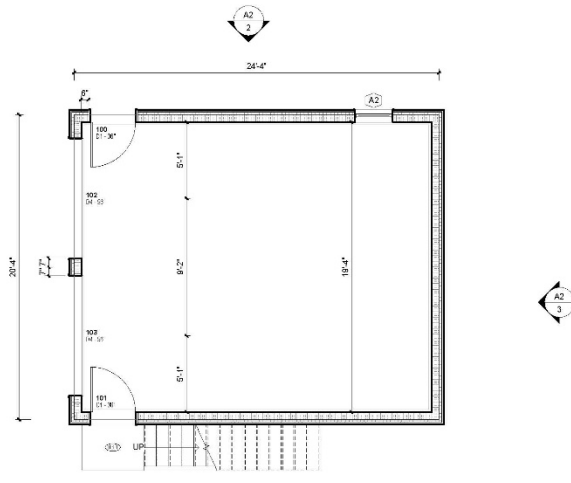
4 RCP - SECOND FLOOR
Scale: 1/4" = 1'-0"



3 02 SECOND FLOOR
Scale: 1/4" = 1'-0"



2 RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"



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SCHEMATIC
DESIGN

PLANS

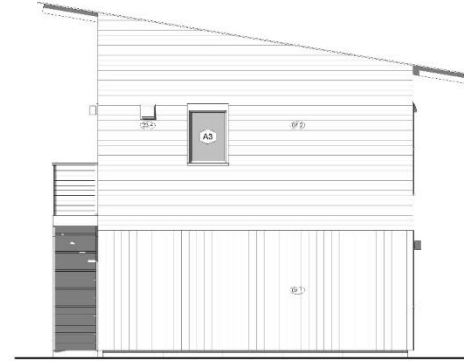
A1

KEYNOTES

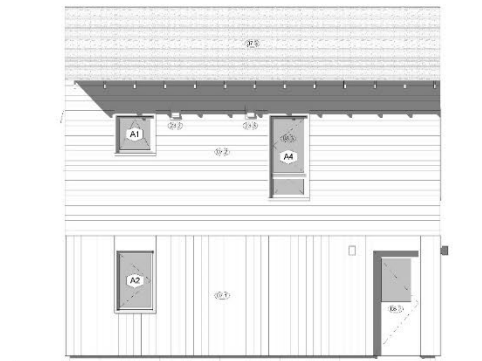
- 05.1 CABLE HANDGUARD RAIL
- 07.1 VERTICAL, 1/8" WOOD SIDING
- 07.2 HORIZONTAL, CLAPBOARD WOOD SIDING, 4" EXPOSURE
- 07.3 ASPHALT SHINGLE ROOFING
- 08.1 ATTIC ACCESS, INSULATED TO R50
- 08.2 FIBERGLASS DOOR, SEE GENERAL NOTES
- 08.3 FIBERGLASS WINDOW, SEE GENERAL NOTES
- 08.4 GARAGE DOOR, SEE GENERAL NOTES
- 23.2 VENTILATION SUPPLY GRILL
- 23.3 VENTILATION EXHAUST GRILL
- 23.4 RANGE HOOD EXHAUST GRILL



4 EXT ELEVATION - SOUTH
Scale: 1/4" = 1'-0"



3 EXT ELEVATION - EAST
Scale: 1/4" = 1'-0"



2 EXT ELEVATION - NORTH
Scale: 1/4" = 1'-0"



1 EXT ELEVATION - WEST
Scale: 1/4" = 1'-0"

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SCHEMATIC
DESIGN

EXTERIOR
ELEVATIONS

A2

Budget – Project 2, Garage ADU (new build)

The cost provided is not a bid number, but rather a preliminary budgeting number intended to give you an idea of the order of magnitude of the cost of the project.

- Electrical Work (est. by Summit Electric) \$13,500
- Plumbing/Mechanical Work (est. by Moorbys) \$45,000
- General Construction Work (est. by Slide Brook Builders) \$182,775

Total = \$241,275



Project 3 – Garage ADU (conversion)

Existing Garage converted into studio ADU, city water/sewer
Needs;

- New insulated slab
- New electrical service
- Windows replaced to accommodate fire safety
- New city water service
- Conversion of existing structure to studio ADU



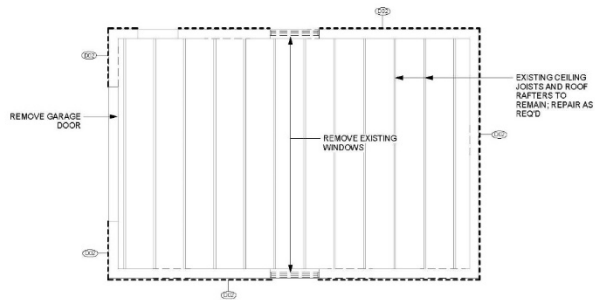
LEGEND	
-----	1 HOUR FIRE BARRIER
-----	2 HOUR FIRE BARRIER
▲	EXTERIOR EXIT
↑	INTERIOR EXIT

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- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
- DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
- REMOVE EXISTING ROOFING AND UNDERLAYMENT. REPAIR ROOF SHEATHING AS REQUIRED FOR INSTALLATION OF NEW ROOFING.
- REMOVE ALL EXISTING ELECTRICAL WIRING AND EQUIPMENT.



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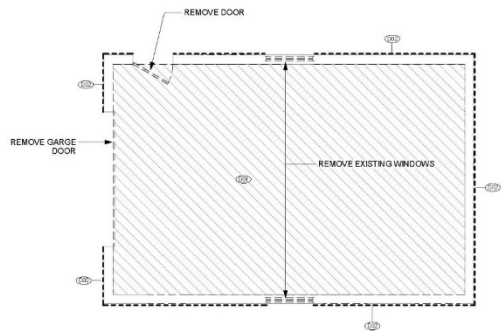
2 DEMOLITION RCP
Scale: 1/4" = 1'-0"

KEYNOTES

- D01 REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ALLOW FOR 6" CRUSHED STONE AND 2" RIGID INSULATION UNDER NEW 4" SLAB. FFE TO REMAIN AT EXISTING ELEVATION
- D02 REMOVE EXISTING SIDING AND REPAIR EXISTING SHEATHING AS REQD.

DEMOLITION KEY

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING FLOOR/CEILING TO BE DEMOLISHED



1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"

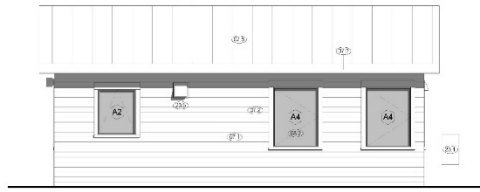
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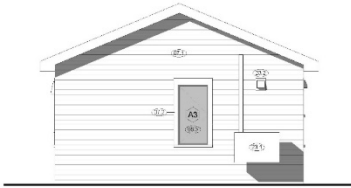
SCHEMATIC
DESIGN

DEMOLITION
PLANS

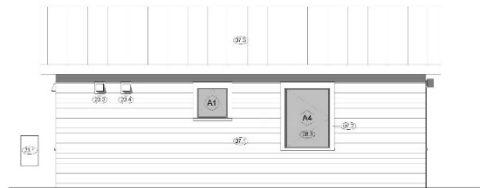
D1



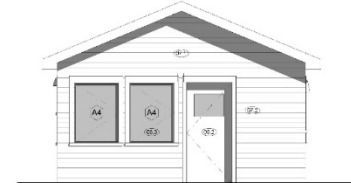
6 EXT ELEVATION - SOUTH
Scale: 1/4" = 1'-0"



5 EXT ELEVATION - EAST
Scale: 1/4" = 1'-0"



4 EXT ELEVATION - NORTH
Scale: 1/4" = 1'-0"



3 EXT ELEVATION - WEST
Scale: 1/4" = 1'-0"

SCOPE OF WORK: PLUMBING / MECHANICAL

1. INSTALL COMPLETE DUCTED MINI-SPLIT SYSTEM HUNG IN ATTIC SPACE WITH INSULATED LINE SETS. 1 TO 1 SINGLE ZONE SYSTEM. EXCT SUPPLY TO BEDROOM, BATHROOM, AND LIVING. RETURN FROM ATTIC SPACE. BASIS OF DESIGN: MITSUBISHI SEZ MODELS.
2. ADD 2" LONG BACK-UP ELECTRIC BASEBOARD STRIPS IN BATHROOM, BEDROOM, AND LIVING AREA. INSTALL WITH OUTDOOR TEMPERATURE SENSOR CONTROL. SETTINGS SO THEY DON'T TURN ON UNLESS THE OUTDOOR TEMPERATURE IS BELOW 10 DEGREES F.
3. INSTALL COMPLETE, DUCTED, BALANCED ENERGY RECOVERY VENTILATION SYSTEM WITH EXTERIOR PENETRATIONS FOR SUPPLY AND EXHAUST. SUPPLY TO BEDROOM AND LIVING ROOM. EXHAUST FROM BATHROOM WITH BOOST CONTROL FEATURE.
4. ROUGH-IN SLAS FOR LIBERTY ELECTOR PIT W/ BURIED SANITARY LINE TYING-BACK INTO THE MAIN HOUSE SANITARY.
 - ALTERNATE OPTION IS TO PROVIDE NEW 50GPA PUMP STATION OUTSIDE OF THE ADU W/ A NEW FORCED MAIN OUT TO THE STREET.
5. PROVIDE NEW MUNICIPAL WATER SUPPLY TO THE ADU.
6. ROUGH IN AND TRIM KITCHEN, BATHROOM, AND LAUNDRY.
7. PROVIDE 50GA HEAT PUMP WATER HEATER SUSPENDED OVER S/ECTOR PIT.

SCOPE OF WORK: ELECTRICAL

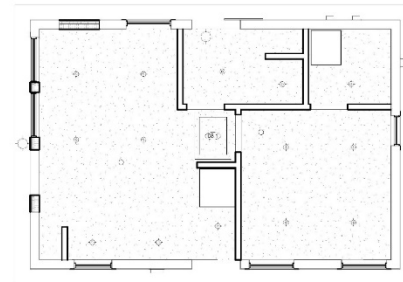
1. INSTALL NEW OVERHEAD 100 AMP ELECTRICAL SERVICE ON ROADSIDE OF STRUCTURE.
2. INSTALL NEW BREAKER PANEL NEAR METER SOCKET, OR USE METER/BREAKER PANEL COMBO TO SAVE SPACE INSIDE.
3. INTERIOR WIRING TO CODE. INCLUDES BASIC LIGHTING, RECEPTABLES, SMOKE DETECTION, EXTERIOR LIGHT AT ENTRY, SEPTIC PUMP, ELECTRIC DRYER, AND HEAT SYSTEM CONTROLS.
4. ALL LIGHTING SHALL BE LED AND COMPLY WITH ZONING REQUIREMENTS AS APPLICABLE. PROVIDE WALL MOUNTED VANTY LIGHT ABOVE BATHROOM SINK AND EXTERIOR WALL SCENIC BY ENTRY DOOR. ALL OTHER LIGHTING TO BE RECESSED TYPE.

WINDOW SCHEDULE			
TYPE MARK	WIDTH	HEIGHT	NOTES
A1	2'-0"	2'-0"	
A2	2'-0"	3'-0"	
A3	2'-0"	4'-0"	
A4	3'-0"	4'-0"	

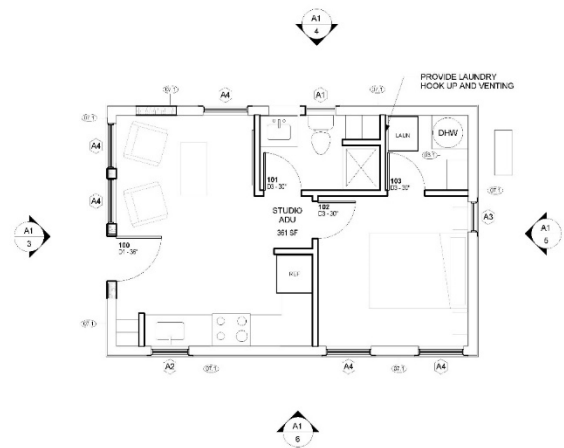
LEGEND	
---	1-HOUR FIRE BARRIER
---	2-HOUR FIRE BARRIER
EXIT	EXTERIOR EXIT
↑ EXIT	INTERIOR EXIT

CEILING FIXTURE KEY	
⊕ LF1	RECESSED/SPOT LIGHT FIXTURE
⊕ LF1	STRIP/LINEAR LIGHT FIXTURE
⊕ LF1	LINEAR FIXTURE CONCEALED FROM VIEW
⊕ LF1	WALL MOUNT LIGHT FIXTURE
⊕	EXHAUST FAN
⊕	ACCESS PANEL
⊕	SMOKE ALARM
⊕	OCCUPANCY SENSOR

CEILING MATERIAL KEY	
□	GYPSUM WALL BOARD
□	WOOD BOARD CEILING



2 RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
2. ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
3. ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A8.9 FOR MORE DIMENSIONAL INFORMATION.
4. PROVIDE NEW 4" CONCRETE SLAB ON TOP OF 6" CRUSHED STONE, 2" RIGID INSULATION, AND 15 MIL VAPOR BARRIER. TAPE BEAMS OF VAPOR BARRIER AND WRAK IT UP INTERIOR FACE OF EXISTING STUDS TO PROVIDE CONTINUITY TO AIR BARRIER. SEE NOTES ABOUT E-JECTOR PITS TO ENSURE ROUGHIN FOR SANITARY SYSTEM.
5. WALLS WILL RE-USE EXISTING 2X4 FRAMING AND WALL SHEATHING. ADD 2" FOIL FACED POLYISO INSULATION TO EXTERIOR FACE OF EXISTING SHEATHING. ADD 1x3 STRAPPING TO SECURE NEW HP SMART SIDE CLAPBOARDS, PREFINISHED. FILL WALL CAVITY WITH BATT INSULATION.
6. ROOF RAFTERS AND SHEATHING TO REMAIN. SPRAY FOAM UNDERSIDE OF ROOF SHEATHING WITH CLOSED CELL SPRAY FOAM INSULATION TO R50 (+/- 1/2").
7. PROVIDE STRIP DOWN THE MIDDLE OF THE ATTIC SPACE OF 3/4" SUBFLOOR ON CEILING JOISTS TO ALLOW FOR MECHANICAL ACCESS AND LIMITED STORAGE.
8. PROVIDE NEW ENERGY STAR TOP FREEZER REFRIGERATOR AND ELECTRIC RANGE. PROVIDE COMPACT LAUNDRY CENTER APPLIANCE.
9. NEW WINDOWS WILL BE FIBERGLASS, ENERGY STAR RATED FOR OUR CLIMATE, DOUBLE GLAZED LOW E W/ ARGON GLASS, CASEMENT/TAWNING TYPE WINDOWS.
10. NEW DOOR WILL BE THERMATRIX FIBERGLASS SHAKER STYLE QUARTER LITE DOOR W/ GLAZING TO MATCH WINDOWS.
11. PLUMWOOD BOX CABINETS: SHAKER STYLE DOORS, 18" H.
12. PLAM COUNTERTOPS WITH INTEGRAL BACKSPLASH.
13. INTERIOR FINISH SHALL BE 1/2" GWB THROUGHOUT, W/ 1 COAT PRIMER AND 2 COATS INTERIOR LATE PAINT.
14. FLOORING SHALL BE LVP THROUGHOUT, EXCEPT BATHROOM, WHICH WILL HAVE SHEET LINOLEUM.

KEYNOTES

- 03.1 PROVIDE 24" X 24" HOLE IN SLAB BELOW THE D/HV FOR EJECTOR PIT
- 07.1 2" FOIL FACED POLYISO INSULATION WITH 1x3 STRAPPING AND HP SMART SIDE CLAPBOARDS ON EXISTING SHEATHING AND FRAMING
- 07.2 COMPOSITE TRIM/FASCIA/SOFFIT, PAINTED
- 07.3 26GA STANDING SEAM METAL ROOFING W/ NEW UNDERLAYMENT
- 08.1 ATTIC ACCESS: NOMI INSULATED
- 08.2 THERMATRIX OR EQUAL FIBERGLASS DOOR, SHAKER STYLE W/ QUARTER LITE
- 08.3 FIBERGLASS WINDOW SYSTEM
- 23.1 OUTDOOR CONDENSING UNIT MOUNTED ON 18" METAL SNOW STAND ATTACHED TO CONCRETE MECHANICAL PAD.
- 23.2 ERV SUPPLY GRILL
- 23.3 DRYER EXHAUST GRILL
- 23.4 DRYER EXHAUST GRILL
- 23.5 RANGE HOOD EXHAUST GRILL.



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SCHEMATIC DESIGN

PLANS / ELEVATIONS

A1

Budget – Project 3, Garage ADU (conversion)

The cost provided is not a bid number, but rather a preliminary budgeting number intended to give you an idea of the order of magnitude of the cost of the project.

- Electrical Work (est. by Summit Electric) \$8,500
- Plumbing/Mechanical Work (est. by Moorbys) \$44,000
- General Construction Work (est. by Slide Brook Builders) \$73,953

Total = \$126,453



Project 4 – Attached ADU



Existing building attached to primary residence, neighborhood septic Needs;

- Independent/upgraded electrical service
- Additional septic (on neighborhood septic system)
- Breezeway converted to bathroom
- Fire safety code upgrades

LEGEND	
-----	1-HOUR FIRE BARRIER
- - - - -	2-HOUR FIRE BARRIER
▲	EXTERIOR EXIT
↑	INTERIOR EXIT

GENERAL NOTES - DEMOLITION

- REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED. SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
- WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
- DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
- REMOVE WALL FINISH MATERIAL AS REQUIRED TO ENSURE 1 HR RATE ASSEMBLY CAN BE OBTAINED AND CONTINUOUS.

KEYNOTES

- D01 REMOVE EXISTING GYPSUM WALL BOARD AS REQUIRED TO ACHIEVE CONTINUOUS 1 HOUR RATING BETWEEN NEW ADU AND PRIMARY DWELLING.
- D02 PROVIDE OPENING FOR NEW CEILING, R50 ATTIC ACCESS.

DEMOLITION KEY

- ▭ EXISTING TO REMAIN
- - - - - EXISTING TO BE DEMOLISHED
- ▨ EXISTING FLOOR/CEILING TO BE DEMOLISHED



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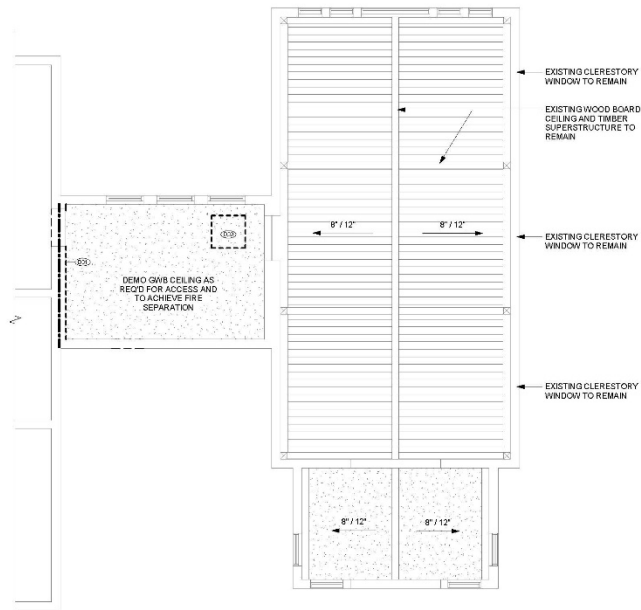
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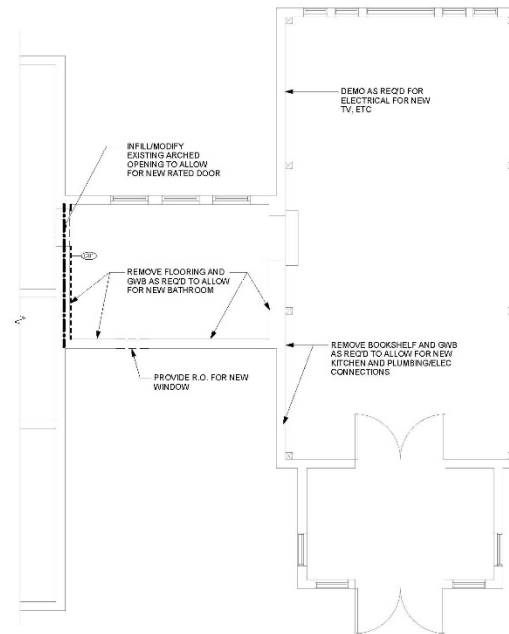
SCHEMATIC DESIGN

DEMOLITION PLANS

D1



2 DEMOLITION RCP
Scale: 1/4" = 1'-0"



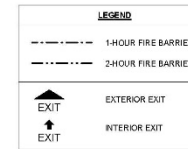
1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"

SCOPE OF WORK: PLUMBING / MECHANICAL

- ROUGH IN AND TRIM KITCHEN SINK (LOWER SECTION) AND BATHROOM AND LAUNDRY CONNECTION (UPPER SECTION). PLUMB TO EXISTING SEPTIC.
- ADD HEAT PUMP WATER HEATER IN CRAWL SPACE BELOW BATHROOM.
- ADD BASEBOARD STRIP TO NEW BATHROOM AND REZONE BOILER CONTROLS TO ADD THE NEW STRIP TO THE EXISTING BASEBOARD IN THE CONNECTOR.
- ERV VENTILATION UNIT HUNG IN CLOSET. PROVIDE EXTERIOR PENETRATIONS FOR SUPPLY AND EXHAUST AIR. SUPPLY TO LIVING SPACE AND HALLWAY. RETURN FROM BATHROOM.

SCOPE OF WORK: ELECTRICAL

- EXISTING SUNROOM AND CONNECTOR TO BE CONVERTED INTO ADU. THERE IS AN EXISTING 20 AMP SINGLE METER SERVICE, AND A SUB-PANEL WHICH FEEDS THE ADU AREA. THE EXISTING SERVICE MAY NOT BE ADEQUATE FOR TWO UNITS, WITH ELECTRIC RANGES, HEAT PUMPS, DRYERS, AND WATER HEATERS. RATHER THAN EXCAVATING A BIGGER SERVICE FROM THE POLE, THE OWNER MAY CONSIDER PROPANE RANGES, PROPANE OR HEAT-PUMP DEVERS, AND ON-DEMAND PROPANE WATER HEATERS. TENANTS MUST HAVE ACCESS TO THEIR BREAKER PANELS IF THE EXISTING SUB-PANEL REMAINS FED FROM THE MAIN PANEL, THE TENANT WOULD NEED ACCESS TO THE MAIN PANEL AS WELL. IF A NEW SERVICE WITH SEPARATE METERING WAS INSTALLED, THEN ONLY ACCESS TO THE SUB-PANEL WOULD BE REQUIRED. GIVEN THE TIGHT SPACE, IT IS NOT PRACTICAL TO MOVE THE SUB-PANEL INTO THE ADU.
- RE-FEED TWO HEAT PUMPS IN ORDER TO SEPARATE UNITS INTO THEIR OWN BREAKER PANELS.
- WIRE NEW KITCHENETTE, BATH AND LAUNDRY.
- WIRE NEW WATER HEATER.
- ALTERNATE 1: REPLACE METER SOCKET WITH DIAL METER SOCKET FOR SEPARATE ADU METERING.
- ALTERNATE 2: REPLACE UNDERGROUND SERVICE, UPGRADE TO 320 AMPS.



CEILING FIXTURE KEY

⊙ LF1	RECESSED SPOT LIGHT FIXTURE
⊞ LF1	STRIP LINEAR LIGHT FIXTURE
⌞ LF1	LINEAR FIXTURE CONCEALED FROM VIEW
⊙ LF1	WALL MOUNT LIGHT FIXTURE
⊞	EXHAUST FAN
⊞	ACCESS PANEL
⊙	SMOKE ALARM
⊞	OCCUPANCY SENSOR

CEILING MATERIAL KEY

⊞	GYP-SUM WALL BOARD
⊞	WOOD BOARD CEILING

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A1.0 FOR MORE DIMENSIONAL INFORMATION.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR AND ELECTRIC RANGE.
- INSTALL NEW SHEET VINYL FLOORING IN THE BATHROOM. EXISTING FLOORING TO REMAIN EVERYWHERE ELSE. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FINISH FLOORS.
- REPAIR EXISTING SHEETROCK TO REMAIN WITH (1) COAT OF PAINT, NEW SHEETROCK TO RECEIVE (1) COAT PRIMER AND (2) COATS OF PAINT.
- EXISTING WINDOWS TO REMAIN UNLESS DAMAGED.
- MAINTAIN 1HR FIRE RATED PARTITION BETWEEN UNITS. FIRE CALK PENETRATIONS, CRACKS ETC AS REQUIRED TO MAINTAIN CONTINUITY. REFERENCE KEY NOTES FOR MORE DETAILS.
- PROVIDE NEW PLAM COUNTERTOPS W/ BACKSPLASH AND PLYWOOD BOX, SHAKER STYLE, MAPLE CABINETS FOR NEW KITCHEN.
- PROVIDE ACOUSTIC/FIRE MINERAL WOOL BATT INSULATION IN PARTY WALL.
- REMOVE EXISTING INSULATION ABOVE GWB CEILING IN "CONNECTOR" SPACE AND BLOW IN NEW CELLULOSE INSULATION TO R50.

KEYNOTES

- PROVIDE TRANSLUCENT, FREESTANDING ROOM DIVIDER SCREENS.
- PROVIDE NEW ATTIC ACCESS; R60 MODEL.
- PROVIDE NEW 2869 FULL LITE POCKET DOOR WITH PROTECTED GLASS.
- LAYERS OF 1/2" TYPE X GWB. 1HR BARRIER MUST BE CONTINUOUS FROM BASEMENT SLAB TO UNDERSIDE OF ROOF DECKING. INFILL BASEMENT FOUNDATION WALL AS REQUIRED TO PARTITION CRAWL SPACE AND ADD RATED ACCESS DOOR TO ACCESS CRAWL SPACE AREA. GWB MUST EXTEND ABOVE CEILING TO UNDERSIDE OF ROOF DECK. FIRE CALK ALL SEAMS AND PENETRATIONS TO ENSURE CONTINUITY.



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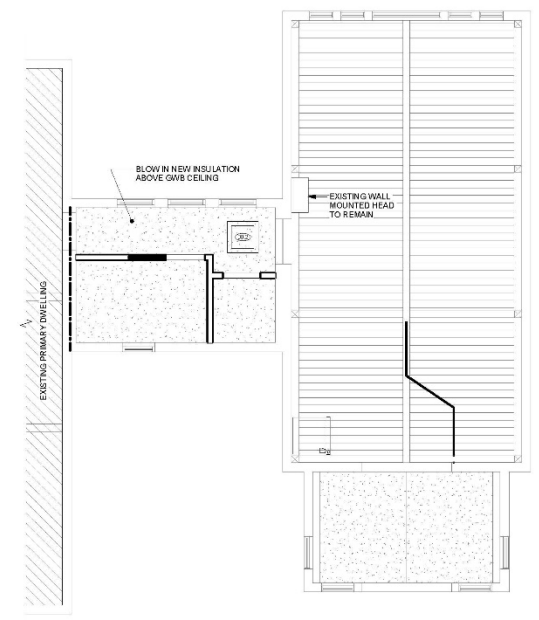
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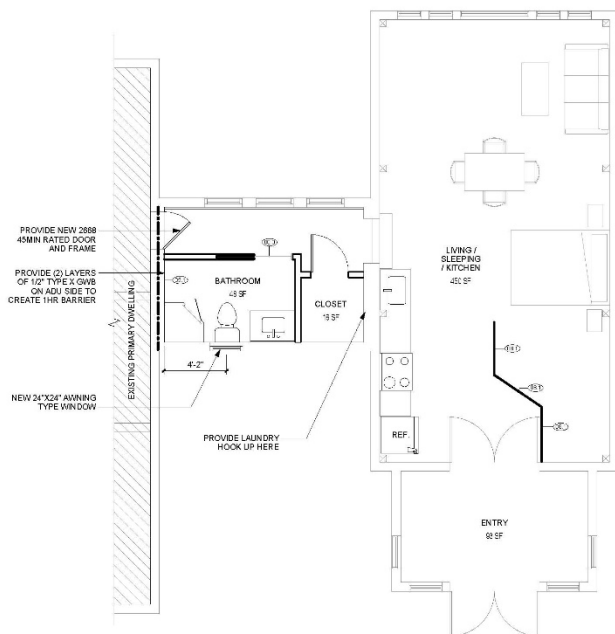
SCHEMATIC DESIGN

PLANS

A1



2 RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

Budget – Project 4, Attached ADU

The cost provided is not a bid number, but rather a preliminary budgeting number intended to give you an idea of the order of magnitude of the cost of the project.

- Electrical Work (est. by Summit Electric) \$8,500
- Plumbing/Mechanical Work (est. by Moorbys) \$19,500
- General Construction Work (est. by Slide Brook Builders) \$31,279
- **Total = \$59,279**



Project 5 – Basement ADU

Existing partially finished basement, city water/sewer

Needs;




- Fire safety code upgrades including new window where one exists for proper egress
- Sequestration of mechanical room from basement unit
- Conversion of basement into 2-bedroom ADU



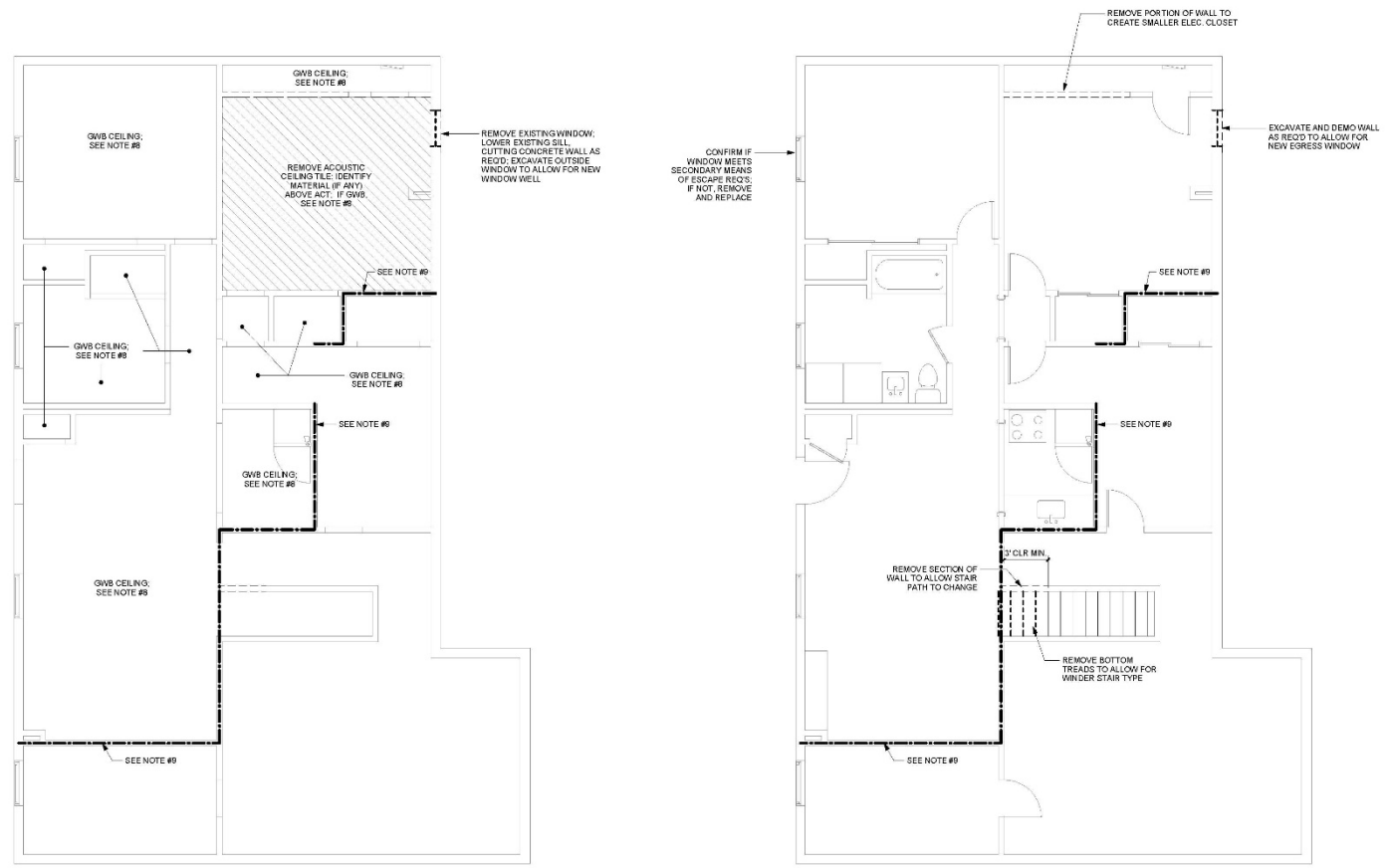
GENERAL NOTES - DEMOLITION

1. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
2. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED. SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
3. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
5. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
6. CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND BARRANT THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
7. DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
8. CONTRACTOR TO DETERMINE THE THICKNESS OF THE GYPSUM WALL BOARD CEILINGS. 5/8" GWB REQUIRED FOR 1 HR RATING IN CEILING/FLOOR ASSEMBLY BETWEEN UNITS.
9. REMOVE WALL FINISH MATERIALS AS REQUIRED TO ENSURE 1 HR RATE ASSEMBLY CAN BE OBTAINED AND CONTINUOUS.
10. REMOVE FINISH FLOORING IN ALL ADU (UNIT 2) SPACES.

DEMOLITION KEY

-  EXISTING TO REMAIN
-  EXISTING TO BE DEMOLISHED
-  EXISTING FLOOR/CEILING TO BE DEMOLISHED

KEYNOTES



2 BASEMENT RCP
Scale: 1/4" = 1'-0"

1 BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

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SCHEMATIC
DESIGN

DEMOLITION
PLANS

D1

CEILING MATERIAL KEY	
	GYPSUM WALL BOARD
	WOOD BOARD CEILING

LEGEND	
	1-HOUR FIRE BARRIER
	2-HOUR FIRE BARRIER
	EXTERIOR EXIT
	INTERIOR EXIT

CEILING FIXTURE KEY	
	RECESSED/SPOT LIGHT FIXTURE
	STRIP/LINEAR LIGHT FIXTURE
	LINEAR FIXTURE CONCEALED FROM VIEW
	WALL MOUNT LIGHT FIXTURE
	EXHAUST FAN
	ACCESS PANEL
	SMOKE ALARM
	OCCUPANCY SENSOR

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A4.0 FOR MORE DIMENSIONAL INFORMATION.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR, ELECTRIC COOKTOP AND OVEN.
- INSTALL NEW FINISH FLOORING THROUGHOUT THE ADU: LVP IN LIVING, KITCHEN, HALL, CARPET IN BEDROOMS, SHEET VINYL IN BATHROOM.
- REPAIR EXISTING SHEETROCK TO REMAIN WITH (1) COAT OF PAINT, NEW SHEETROCK TO RECEIVE (1) COAT PRIMER AND (2) COATS OF PAINT.
- EXISTING WINDOWS TO REMAIN UNLESS DAMAGED.
- EXISTING DOORS TO REMAIN UNLESS DAMAGED.
- EXISTING CABINETS AND COUNTERTOPS TO REMAIN.
- MAINTAIN 1HR FIRE RATED PARTITION BETWEEN UNITS FOR WALLS AND CEILING. FIRE CAULK PENETRATIONS, CRACKS ETC AS REQUIRED TO MAINTAIN CONTINUITY.
- NEW BEDROOM WINDOW MUST MEET SECONDARY MEANS OF ESCAPE REQUIREMENTS: MAX SILL HEIGHT OF 44" ABOVE FFE. INSTALL EXTERIOR WINDOW WELL COMPLIANT WITH NFPA 101 GUIDELINES FOR SECONDARY MEANS OF ESCAPE.

KEYNOTES

SCOPE OF WORK: ELECTRICAL

- MOVE AND REPLACE BREAKER PANEL FOR SECOND FLOOR MAIN UNIT TO ACCOMMODATE BREAKER ACCESS FOR RESIDENTS. NEW PANEL TO BE LOCATED IN THE EXISTING LAUNDRY ROOM AND EXISTING CIRCUITS RE-ROUTED.
- REPLACE UNIT 2 BREAKER PANEL AT EXISTING LOCATION.
- REWIRE UNIT 2 AS NEEDED FOR NEW KITCHEN, CHANGES TO LAYOUT, SMOKE DETECTION, RECEPTACLES AND LIGHTING TO CODE.
- MOVE EXISTING LAUNDRY OUTLETS OUT OF CABINETS TO MEET CODE.
- IF ADDITIONAL GWS IS REQUIRED ON THE CEILING TO CREATE 1HR BARRIER, REMOVE CEILING FIXTURES AND ADD 58" JUNCTION BOX EXTENSIONS.
- ALTERNATE: UPGRADE METER SOCKET TO 2X100 METER PADS FOR SEPARATE METERING.

SCOPE OF WORK: PLUMBING / MECHANICAL

- REPLACE KITCHEN PUMP STATION AND DRAINAGE. RUN NEW LINE TO STACK (BY EXISTING LAUNDRY) THROUGH DROP CEILING.
- SEPARATE HEAT ZONE AND CHANGE BOILER CONTROLS TO ALLOW FOR INDIVIDUAL CONTROL OVER ADU ZONE.

SECONDARY MEANS OF ESCAPE REQ'S

SILL HEIGHT	= 44" MAX
MIN. OPENING AREA	= 5.7 SQFT
MIN. OPENING HEIGHT	= 24"
MIN. OPENING WIDTH	= 20"

SUCH MEANS OF EGRESS SHALL BE ACCEPTABLE WHERE ONE OF THE FOLLOWING CRITERIA ARE MET:

- THE WINDOW SHALL BE WITHIN 20' OF THE FINISHED GROUND LEVEL.
- THE WINDOW SHALL BE DIRECTLY ACCESSIBLE TO FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE AHJ.
- THE WINDOW OR DOOR SHALL OPEN ONTO AN EXTERIOR BALCONY.
- WINDOWS HAVING A SILL HEIGHT BELOW THE ADJACENT FINISHED GROUND LEVEL SHALL BE PROVIDED WITH...



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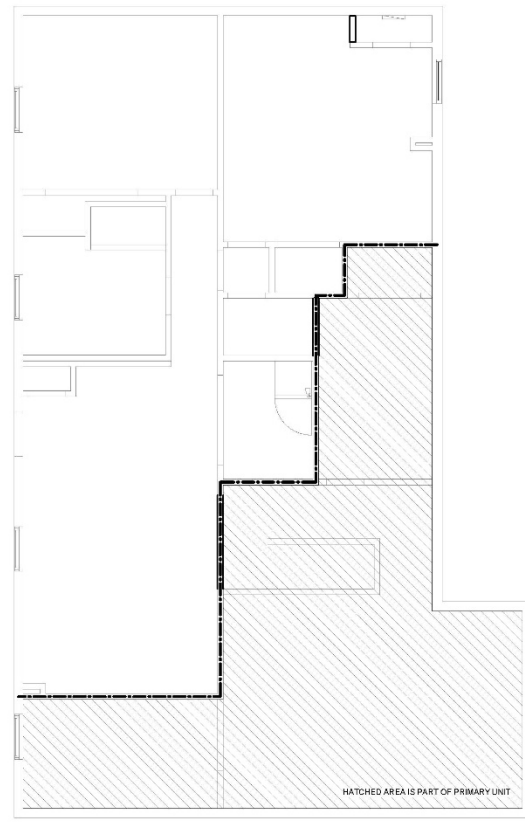
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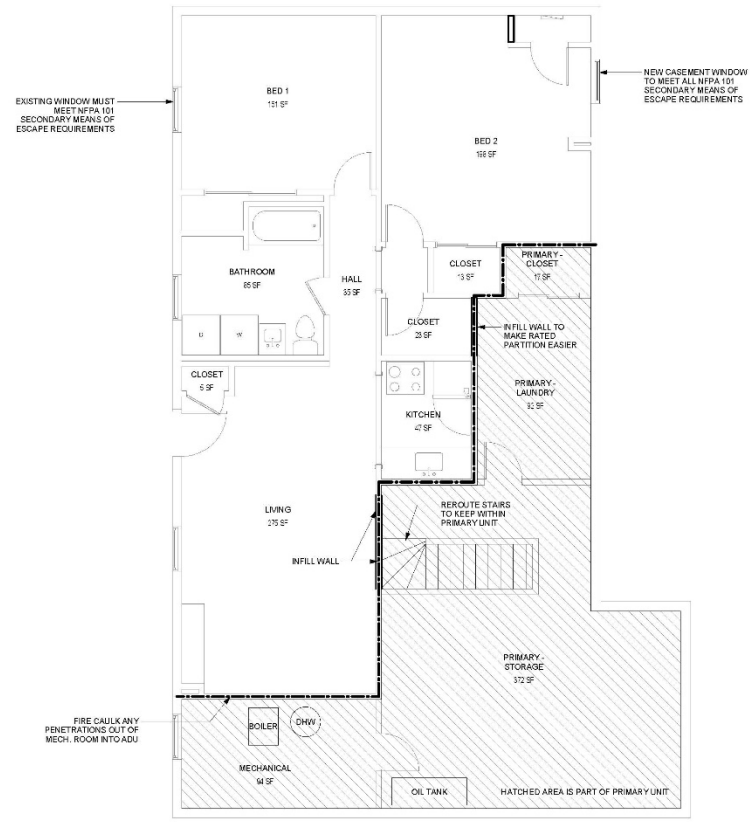
SCHEMATIC DESIGN

PLANS

A1



2 BASEMENT RCP
Scale: 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

EXISTING WINDOW MUST MEET NFPA 101 SECONDARY MEANS OF ESCAPE REQUIREMENTS

NEW CASEMENT WINDOW TO MEET ALL NFPA 101 SECONDARY MEANS OF ESCAPE REQUIREMENTS

FIRE CAULK ANY PENETRATIONS OUT OF MECH. ROOM INTO ADU

HATCHED AREA IS PART OF PRIMARY UNIT

HATCHED AREA IS PART OF PRIMARY UNIT

Budget – Project 5, Basement ADU

The cost provided is not a bid number, but rather a preliminary budgeting number intended to give you an idea of the order of magnitude of the cost of the project.

- Electrical Work (est. by Summit Electric) \$11,000.00
- Plumbing/Mechanical Work (est. by Moorbys) \$11,900.00
- General Construction Work (est. by Slide Brook Builders) \$36,950.00

Total = \$59,850



Project 6 – Existing detached building (not technically an ADU due to size)

Existing building that had fallen into disrepair, own septic/water Needs;

- New electrical service and new plumbing
- Fire safety code upgrades
- Spiral staircase and guardrails to replace old staircase
- New bathroom entryway





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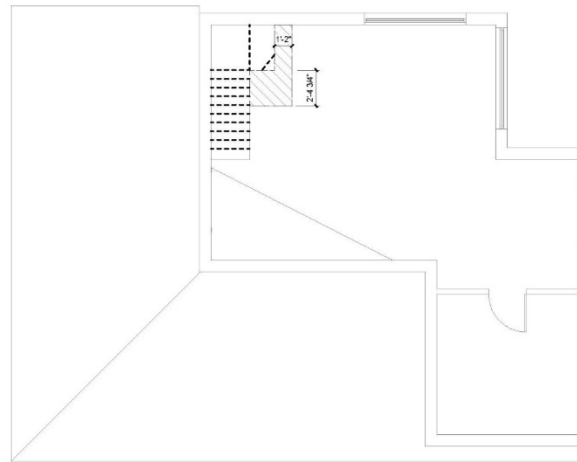
GENERAL NOTES - DEMOLITION

1. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
2. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED. SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
3. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
5. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
6. CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
7. DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
8. REMOVE SHEETROCK AS REQUIRED TO RUN NEW WIRING. CONTRACTOR SHOULD ASSUME TAKING OUT 2 RIPS AROUND THE BOTTOM OF MOST WALLS AT A MINIMUM, AS WELL AS CEILING AS REQUIRED. IF SHEETROCK IS REMOVED IN AN AREA, CONTRACTOR WILL INSPECT INSULATION AND REPLACE BATTS AS REQUIRED.
6. REMOVE ANY EXPOSED BATT INSULATION IN THE EXTERIOR WALLS THAT APPEARS DAMAGED OR NO LONGER USABLE.
10. CONTRACTOR TO REMOVE ALL EXISTING GAS PIPING THROUGHOUT THE BUILDING.
11. EXISTING SPRING FED WATER SERVICE TO BE ABANDONED. REMOVE PIPING AS REQUIRED TO ALLOW FOR NEW WELL SUPPLY CONNECTION.
12. ASSUMPTION IS THAT EXISTING WASTEWATER SYSTEM IS STILL SERVICEABLE. NO DEMO OR CONSTRUCTION WORK IS PROPOSED HERE. CONTRACTOR SHOULD HIRE SOMEONE TO INSPECT AND SCOPE THE LINE TO ENSURE THERE ARE NO BLOCKAGES AND SYSTEM IS STILL OPERATIONAL.
13. ASSUMPTION IS THAT ALL EXISTING ELECTRICAL WIRING AND PANELING WILL BE ABANDONED. REMOVE ALL ELECTRICAL EQUIPMENT AND WIRING TO ALLOW FOR NEW INSTALLATION.

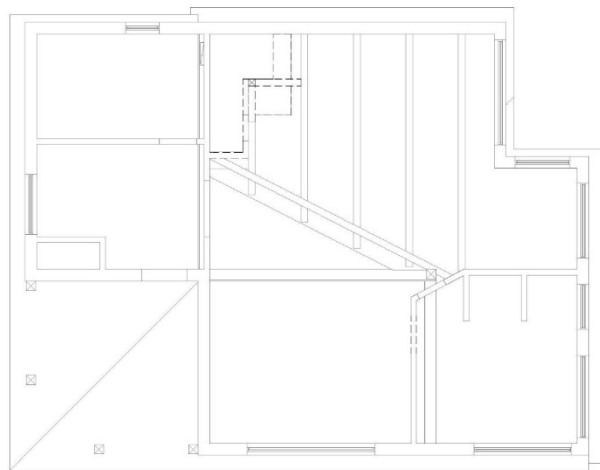
DEMOLITION KEY

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING FLOOR/CEILING TO BE DEMOLISHED

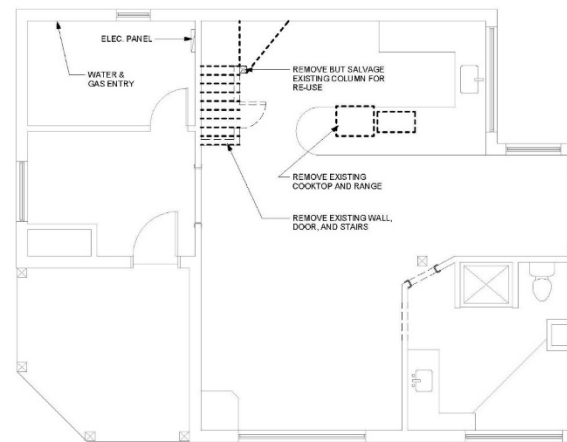
KEYNOTES



2 DEMOLITION - SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



3 DEMOLITION - RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"



1 DEMOLITION - GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

DATE: 11/19/2024
A REVISIONS

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DEMOLITION
PLANS

D1



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PLANS

A1

CEILING FIXTURE KEY	
⊙ LF1	RECESSED SPOT LIGHT FIXTURE
▭ LF1	STRIP/LINEAR LIGHT FIXTURE
▭ LF1	LINEAR FIXTURE CONCEALED FROM VIEW
▭ LF1	WALL MOUNT LIGHT FIXTURE
⊠	EXHAUST FAN
⊠	ACCESS PANEL
⊠	SMOKE ALARM
⊠	OCCUPANCY SENSOR

PLAN MATERIAL KEY	
▨	GYPSUM WALL BOARD
▨	WOOD BOARD CEILING
▨	WALL INFILL AREA

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A1.0 FOR MORE DIMENSIONAL INFORMATION.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR, ELECTRIC COOKTOP AND OVEN.
- INSTALL NEW FINISH FLOORING THROUGHOUT THE GROUND LEVEL AS REQUIRED.
- REPAINT EXISTING SHEETROCK TO REMAIN WITH (1) COAT OF PAINT. NEW SHEETROCK TO RECEIVE (1) COAT PRIMER AND (2) COATS OF PAINT.
- EXISTING WINDOWS TO REMAIN UNLESS DAMAGED.
- EXISTING DOORS TO REMAIN UNLESS DAMAGED.
- EXISTING CABINETS AND COUNTERTOPS TO REMAIN.

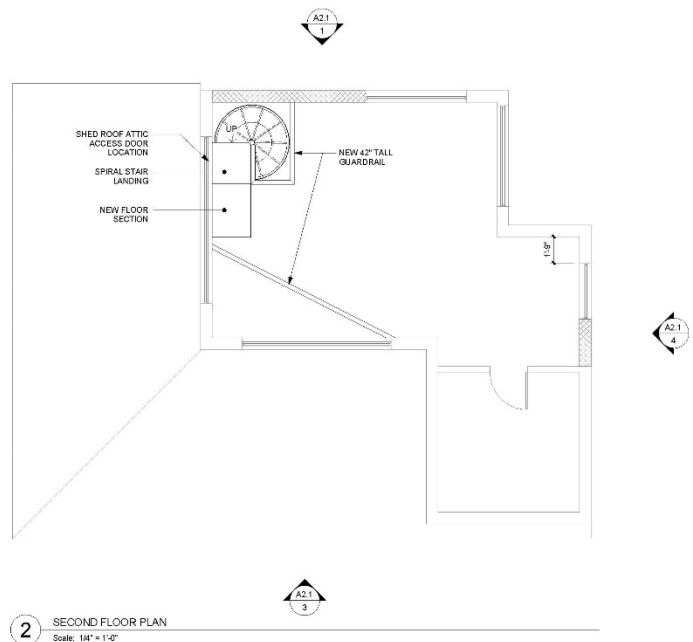
KEYNOTES

SCOPE OF WORK: ELECTRICAL

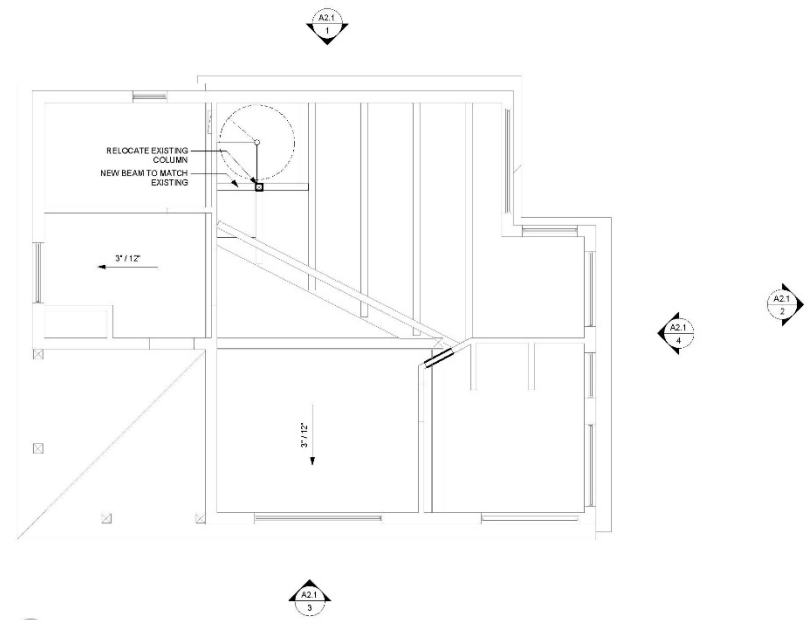
- NEW 200 AMP ELECTRICAL SERVICE, APPROXIMATELY 280 FEET UNDERGROUND PUC TO NEW METER PEDestal, W/CO TO INSTALL PRIMARY POWER OVERHEAD OR UNDERGROUND FROM EXISTING POLE.
- INSTALL NEW BREAKER PANEL AND BREAKERS IN UTILITY ROOM.
- REWIRE HOUSE AS NEEDED. VISIBLE WIRING HAS EXTENSIVE RODENT DAMAGE. SOME WIRING MAY BE USABLE BUT ASSUME COMPLETE REPLACEMENT OF BRANCH CIRCUITS. THIS WILL REQUIRE OPENINGS OF SHEETROCK IN MANY AREAS.
- NEW WIRING TO INCLUDE SMOKE DETECTION TO CODE. CIRCUITS FOR NEW WELL PUMP SYSTEM AND OTHER UTILITIES. GENERAL LIGHTING AND RECEPTACLES.
- INVESTIGATE "MYSTERY SWITCH" IN LIVING ROOM CURRENTLY CONNECTED TO WIRE UNDERGROUND. REWIRE AS NEEDED DEPENDING ON WHAT IT IS CONNECTED TO.
- PROVIDE NEW LED LIGHTING THROUGHOUT.

SCOPE OF WORK: PLUMBING / MECHANICAL

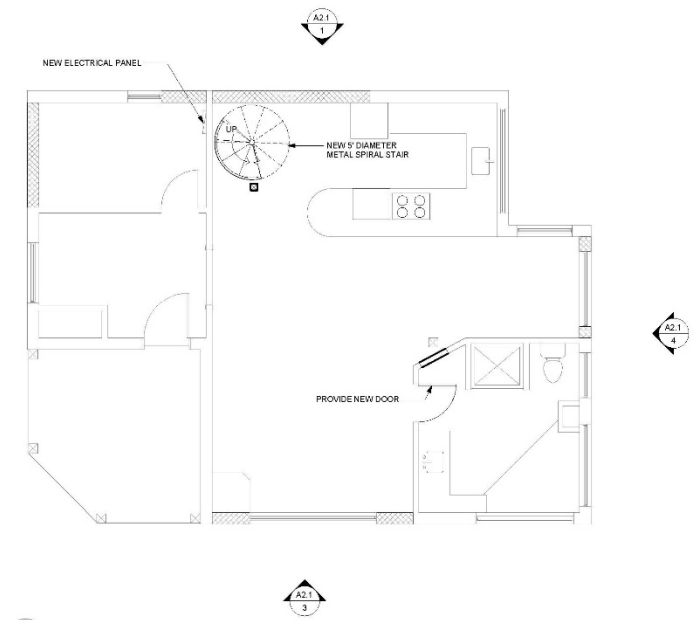
- TEST AND REPLACE AS NECESSARY DOMESTIC HOT AND COLD WATER INFRASTRUCTURE. ALL FIXTURES TO REMAIN ASSUMING THEY ARE IN GOOD WORKING CONDITION.
- CONNECT DOMESTIC WATER SUPPLY TO NEW PRESSURE TANK.
- INSTALL PROPANE FRED ON DEMAND WATER HEATER WITH MIXING VALVE.
- TEST AND REPLACE AS NECESSARY DWV SYSTEM. REPIPE KITCHEN SINK DRAINAGE, CHECK TUBS AND SHOWER TRAPS. REPIPE LAUNDRY.
- INSTALL PROPANE RINNAI 38K BTU WALL FURNACE AND DUCTING AS REQUIRED.
- REMOVE MOST OF EXISTING GAS INFRASTRUCTURE. TEST AND REPLACE AS NECESSARY LINES TO NEW PROPANE UNITS - WATER HEATER, RINNAI, RANGE (?)
- FINAL INSPECTION WITH FIRE MARSHAL.



2 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



3 RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

Budget – Project 6, Existing detached building (not technically an ADU due to size)

The cost provided is not a bid number, but rather a preliminary budgeting number intended to give you an idea of the order of magnitude of the cost of the project.

- Electrical Work (est. by Summit Electric) \$21,700.00
- Plumbing/Mechanical Work (est. by Moorbys) \$24,000.00
- General Construction Work n/a

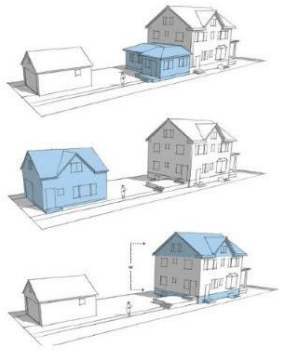
Total = \$45,700



Resources CVRPC provides:



Guide to Creating Accessory Dwelling Units



Other resources:

[Vermont Housing Improvement Program — Downstreet VHIP 2.0 – ACCD Program Overview](#)

[All About Accessory Dwelling Units - AARP](#)

[Accessory Dwelling Units - ACCD](#)

[ADU VSHA](#)

Permit resources:



Water/Wastewater Permits:

[ANR: DEC – Permit Navigator](#)



Fire Safety:

[Department of Public Safety: Fire Safety Division – Central Office](#)



Residential Building Energy Standards:

[Energy Code Handbook](#)